

Conditional Use Application for 2005 South 800 East

The site is currently a paved lot with fencing around the perimeter and automated gate. It was previously being used by CenturyLink as a parking lot for vehicles and heavy trucks. We are proposing to use the site as an outdoor storage facility for RVs, boats, and everyday vehicles. No major improvements will be done to the site as the use is substantially similar to the previous use.

The anticipated hours of operation for this storage facility are from 8:00 AM to 6:00 PM, Monday through Saturday, with limited hours on Sundays from 10:00 AM to 4:00 PM to accommodate weekend traffic.

Peak hours for the proposed use are anticipated to occur during weekends and holidays, particularly in the early mornings and late afternoons as customers retrieve or store their vehicles for their recreational uses. Additionally, peak seasons coincide with the summer months when outdoor recreational activities are at their highest.

Outdoor activities associated with the use primarily involve vehicle maneuvering during drop-offs, pickups, and occasional maintenance activities. The site layout allows for efficient movement and storing of vehicles, ensuring smooth operations even during peak hours. The design is based on the anticipated trip generation of similar storage facilities in comparable urban environments, taking into account factors such as traffic flow and spatial requirements.

Waste generated by the use, which will be minimal if not zero, will be stored in designated containers on-site and regularly collected by contracted waste management services. Recycling initiatives will be implemented to minimize environmental impact wherever possible.

The anticipated water consumption of the proposed use is zero with the exception of maintaining the existing grass along the frontage.

In terms of emissions, the proposed use is expected to generate minimal air pollutants, primarily from occasional vehicle movements within the premises.

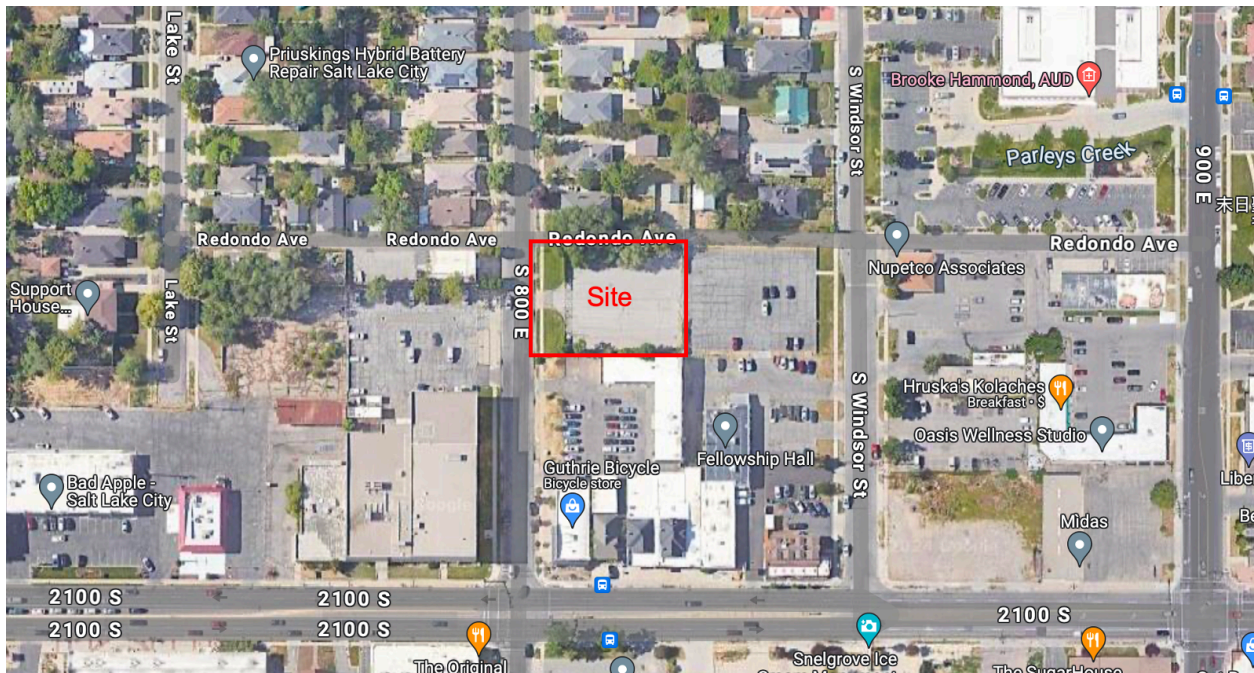
There are no trees with a trunk circumference greater than 6 inches on the property that will be removed. There is currently natural vegetation creating a screen between the property and the homes to the north. This vegetation will remain in place.

No additional grading will be done. The site is paved and will remain as-is.

While the proposed use may produce minor vehicle emissions, stringent operational protocols and mitigation strategies will be employed to minimize these impacts on the surrounding environment and neighboring properties. Additionally, the applicant has been in contact with relevant regulatory agencies to ensure compliance with all applicable regulations and standards regarding emissions, waste management, and environmental protection.

Adjacent land uses to the property are as follows:

- North: Redondo Avenue directly to the north of the property with single family homes on the other side of the Ave.
- West: 800 E directly adjacent to the property with businesses directly to the west including CenturyLink's parking lot.
- South: Retail/warehouse business.
- East: Surface parking lot.



No new exterior lights are planned for the site.

The existing access to 800 E will be maintained and no additional access points will be made.

There is existing vegetation on the north fence of the property including trees that will be maintained to provide screening. The existing chain link fence will be maintained to provide security to the site.

LEGAL DESCRIPTION

LOTS 19, 20, 21, 22 AND 23, BLOCK 2, WINFIELD SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

SAID PROPERTY IS ALSO KNOWN BY THE STREET ADDRESS OF:
2005 SOUTH 800 EAST, SALT LAKE CITY, UT 84105

SURVEYED DESCRIPTION

COMMENCING AT THE STREET MONUMENT MARKING THE INTERSECTION OF 800 EAST AND 2100 SOUTH;
THENCE NORTH 0°14'37" WEST 295.77 FEET, ALONG THE CENTERLINE OF SAID 800 EAST AND SOUTH 89°45'23" EAST 30.99 FEET TO THE SOUTHWEST CORNER OF PARCEL AND THE TRUE POINT OF BEGINNING;
SAID POINT OF BEGINNING ALSO LIES N00°20'01"E 260.00 FEET FROM THE SOUTHWEST CORNER OF BLOCK 2, WINFIELD SUBDIVISION;
THENCE NORTH 0°20'01"E 125.00 FEET;
THENCE SOUTH 89°36'28" EAST 157.00 FEET;
THENCE SOUTH 0°20'01" WEST 125.00 FEET;
THENCE NORTH 89°36'28" WEST 157.00 FEET TO THE POINT OF BEGINNING.

TITLE REPORT INFORMATION

THE ITEMS AND LEGAL DESCRIPTIONS SHOWN HEREON CORRESPOND TO FIRST AMERICAN TITLE INSURANCE COMPANY FOR COMMITMENT NO. NCS-1147739-00, DATED SEPTEMBER 06, 2022.

NO RESPONSIBILITY FOR COMPLETENESS, ACCURACY, OR CONTENT OF SAID COMMITMENT IS ASSUMED BY THIS MAP.

ITEMS SHOWN WITH A HEXAGON (⬡) REFLECT ITEMS WHICH ARE PLOTTED HEREON:

1-7 STANDARD TITLE COMPANY NOTES.

8. TAXES.

9. ANY CHARGE UPON THE LAND BY REASON OF ITS INCLUSION IN SALT LAKE CITY.

10. ANY CLAIM TO (A) OWNERSHIP OF OR RIGHTS TO MINERALS AND SIMILAR SUBSTANCES, INCLUDING BUT NOT LIMITED TO ORES, METALS, COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND, AND GRAVEL LOCATED IN, ON, OR UNDER THE LAND OR PRODUCED FROM THE LAND, WHETHER SUCH OWNERSHIP OR RIGHTS ARISE BY LEASE, GRANT, EXCEPTION, CONVEYANCE, RESERVATION, OR OTHERWISE; AND (B) ANY RIGHTS, PRIVILEGES, IMMUNITIES, RIGHTS OF WAY, AND EASEMENTS ASSOCIATED THEREWITH OR APPURTENANT THERETO, WHETHER OR NOT THE INTERESTS OR RIGHTS EXCEPTED IN (A) OR (B) APPEAR IN THE PUBLIC RECORDS OR ARE SHOWN IN SCHEDULE B.

11. ANY WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER THE LAND.

12. RESERVATIONS CONTAINED WITHIN THAT CERTAIN PATENT, RECORDED JUNE 25, 1872 IN BOOK F AT PAGE 3 OF OFFICIAL RECORDS.

13. THE RECORD OF SURVEY MAP OF THE WINFIELD SUBDIVISION, RECORDED DECEMBER 22, 1890 AS ENTRY NO. 31981 IN BOOK C OF PLATS AT PAGE 85 OF OFFICIAL RECORDS. (ORIGINAL SUBDIVISION PLAT)

14. A VARIANCE WAS GRANTED TO PERMIT A PROPOSED PARKING LOT WITH A 4' SETBACK RATHER THAN THE REQUIRED 10', CONDITIONED ON (SEE DOCUMENT FOR PROVISIONS) AS DISCLOSED BY ABSTRACT OF FINDINGS AND ORDER, RECORDED FEBRUARY 11, 1971 AS ENTRY NO. 2370955 IN BOOK 2935 AT PAGE 955 OF OFFICIAL RECORDS. (NOT A SURVEY ITEM)

15. THE STATE CONSTRUCTION REGISTRY DISCLOSES THE FOLLOWING PRELIMINARY NOTICES WITHIN THE PAST 12 MONTH: NONE

TABLE A NOTES

ITEM NUMBERS BELOW CORRESPOND TO REQUESTED 2021 ALTA/NSPS LAND TITLE SURVEY TABLE A: OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS:

1. FOUND MONUMENTS AS NOTED.

2. ADDRESS IS 2005 SOUTH 800 EAST, SALT LAKE CITY, UT 84105.

3. THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FEMA FIRM MAP 49035C0301H, DATED NOVEMBER 19, 2021.

4. SUBJECT PARCEL CONTAINS 19,625 SQ. FT. OR 0.45 ACRES.

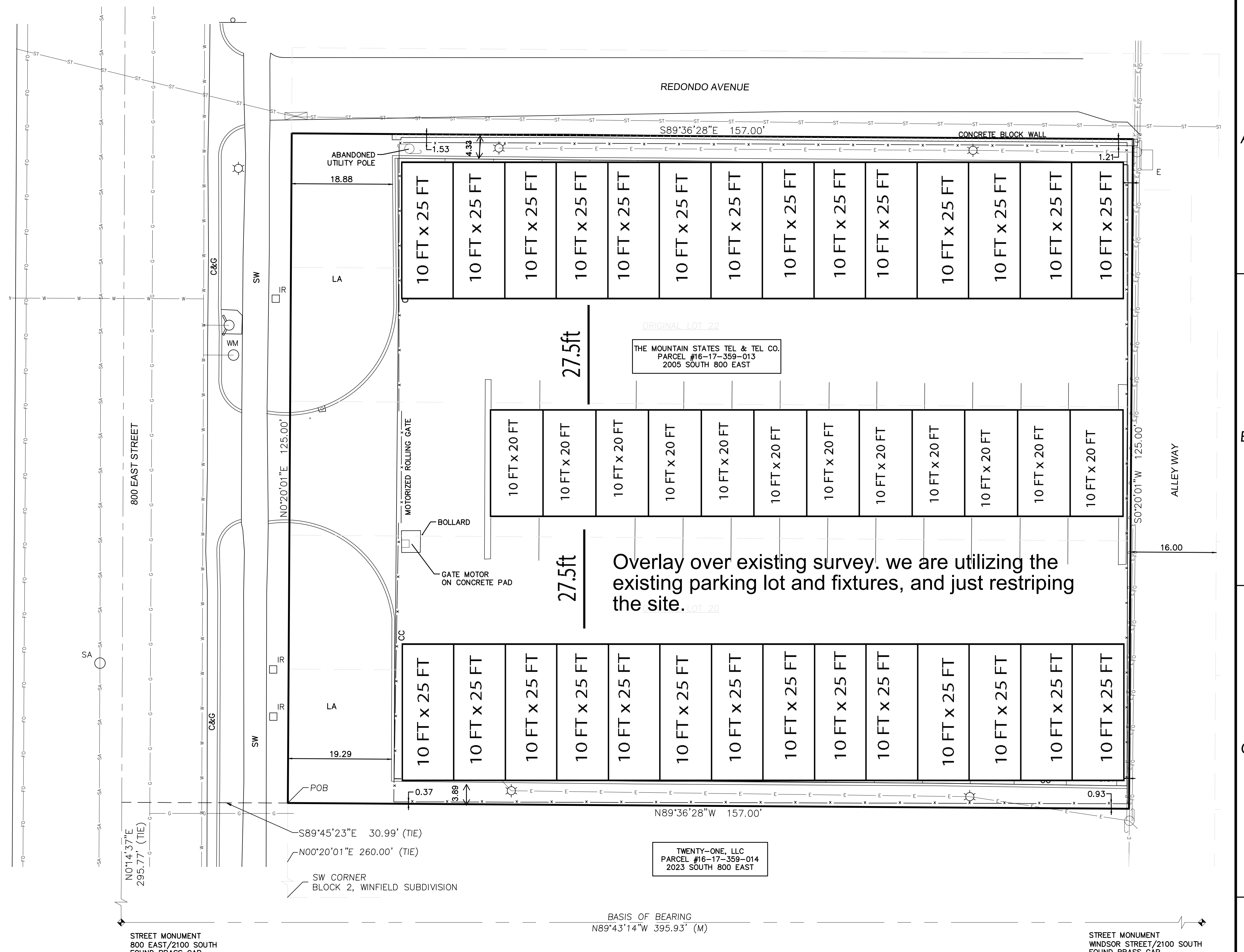
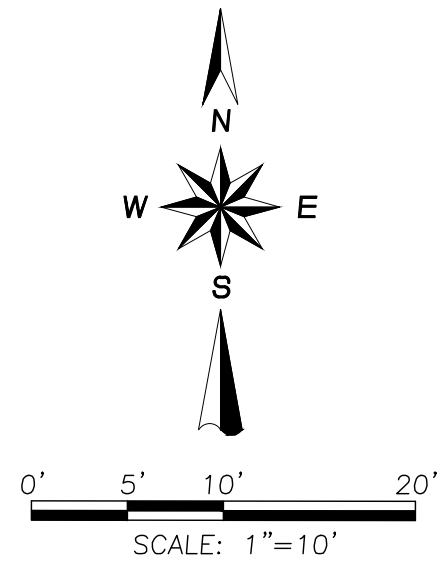
7. NO BUILDINGS ON THE PROPERTY.

9. STANDARD PARKING SPACES: 55

11. UNDERGROUND UTILITY LOCATIONS SHOWN FROM ABOVEGROUND VISUAL EVIDENCE, UTILITY COMPANY MAPS AND UTILITY LOCATE SERVICES.

13. ADJOINING OWNERS ARE SHOWN ON SURVEY.

18. ALL PLOTTABLE EASEMENTS ARE SHOWN ON SURVEY.



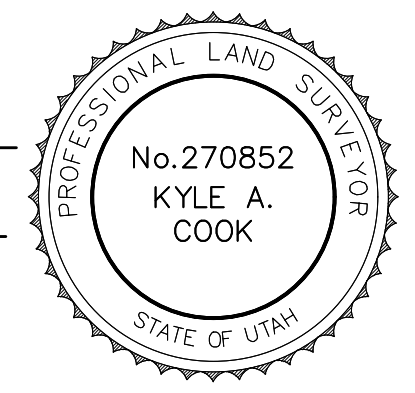
LEGEND

- ⬡ ELECTRICAL BOX
- ⊕ ELECTRICAL POLE
- ⊙ LIGHT POLE
- ⊙ SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM DRAIN INLET BOX
- ⊙ IRRIGATION BOX
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ SIGN
- C&G CONCRETE CURB AND GUTTER
- CC CONCRETE CURB
- LA LANDSCAPE AREA
- ⊙ PARKING STALLS
- SIDEWALK
- ⊙ STREET MONUMENT
- CHAINLINK FENCE
- FIBER OPTIC LINE
- GAS LINE
- TELEPHONE LINE
- SA SEWER LINE
- ST STORM DRAIN
- W WATER DRAIN
- ORIGINAL SUBDIVISION LOT LINE

SURVEYOR'S CERTIFICATE

THIS SURVEY IS MADE FOR THE BENEFIT OF: LUMEN TECHNOLOGIES. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7, 9, 11, 13, AND 18 OF TABLE A HEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 03, 2023.

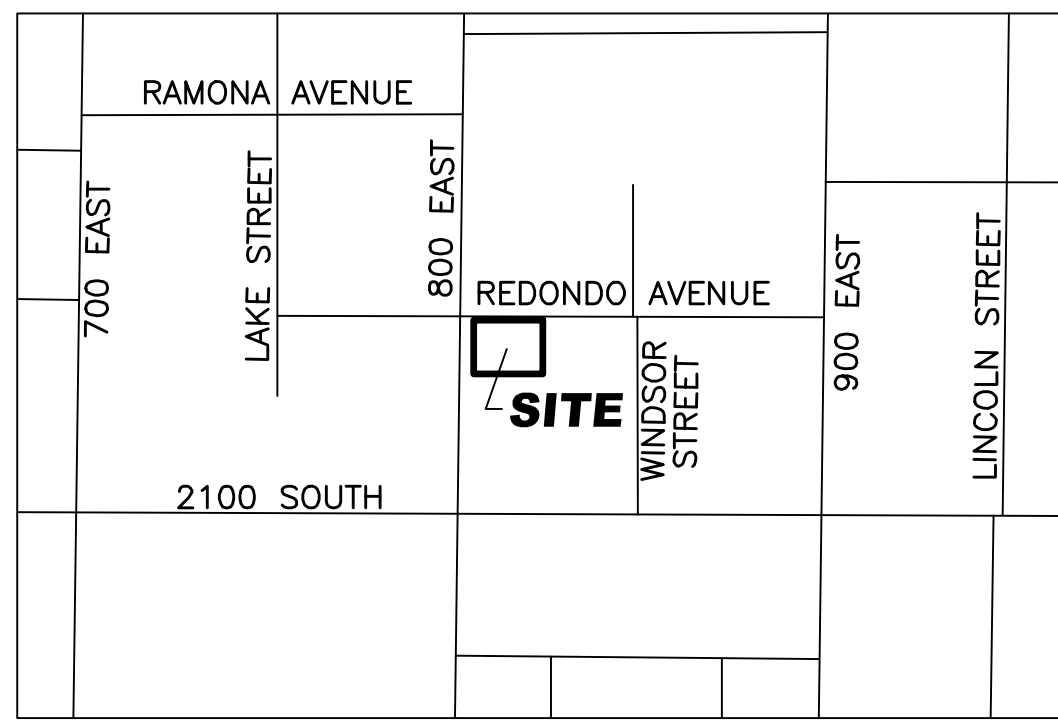
KYLE A. COOK, L.S. 270852
DATE OF CERTIFICATION: 1/13/2023



SURVEY NOTES

- BASIS OF BEARING IS N89°43'14"W 395.93' MEASURED BETWEEN FOUND BRASS CAPS MARKING THE INTERSECTION OF 800 EAST AND 2100 SOUTH AND THE INTERSECTION OF WINDSOR STREET AND 2100 SOUTH.
- SURVEY WAS COMPLETED ON JANUARY 03, 2023.
- LANDSCAPE AREA MAY CONTAIN IRRIGATION SPRINKLER SYSTEMS.

BASIS OF BEARING
N89°43'14"W 395.93' (M)

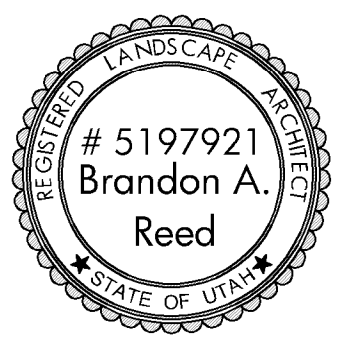


VICINITY MAP
(NOT TO SCALE)

PRINTED 1/13/23 FOR DATE <input type="checkbox"/> PRELIMINARY <input type="checkbox"/> DESIGN DEVELOPMENT <input type="checkbox"/> BIDDING <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> APPROVAL <input checked="" type="checkbox"/> AS BUILT <input type="checkbox"/> REVISION	PHONE: (801) 364-4051	<table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APPD.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DESCRIPTION	BY	DATE	APPD.						TITLE LUMEN TECHNOLOGIES 2005 SOUTH 800 EAST, SALT LAKE CITY, UT 84105 ALTA/NSPS LAND TITLE SURVEY	Drawn By: SRH Date: 1/23 SURV. TDC Date: 1/23 Chk'd. By: KAC Date: 1/23 APPD. - Date: - Project No.: 22-12-178 SCALE: AS NOTED	DRAWING No. 1 OF 1	REVISION
No.	DESCRIPTION	BY	DATE	APPD.												

DESIGNING OUTDOOR LIVING EXPERIENCES.
A: 9500 S 500 W STE 215 SANDY UT 84070
P: 801 878 4717
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THESE PLANS AND SPECIFICATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



LUMEN PARKING LOT
2005 S 800 E /
SALT LAKE CITY / UT / 84105

DATE // 05.09.24
PROJECT NO. // 2411
DRAWN BY // NKJ
CHECKED BY // BAR

REVISIONS //

TITLE // PLANTING PLAN

SHEET // **LP101**

NOT FOR CONSTRUCTION

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY	
TREES					
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	2" CAL.	B&B	4	
SHRUBS					
	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES' / PRINCE OF WALES JUNIPER	1 GAL.		8	
SYMBOL	BOTANICAL / COMMON NAME	CONT	HZONE	SPACING	QTY

GROUND COVERS	MULCH	
EXISTING LANDSCAPE / PROTECT-IN-PLACE	FLAT	3,482 SF
DARK BROWN BARK MULCH	BARK MULCH	453 SF

SUMMARY DATA:

PARK STRIP TREES REQUIRED/PROVIDED:

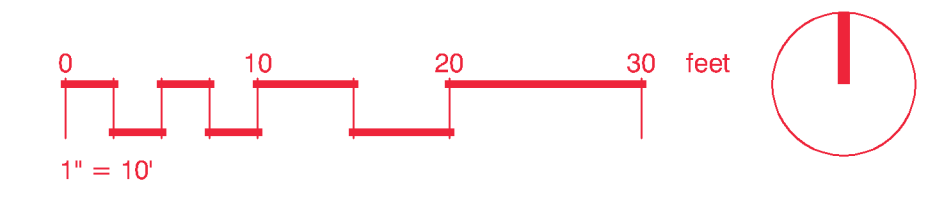
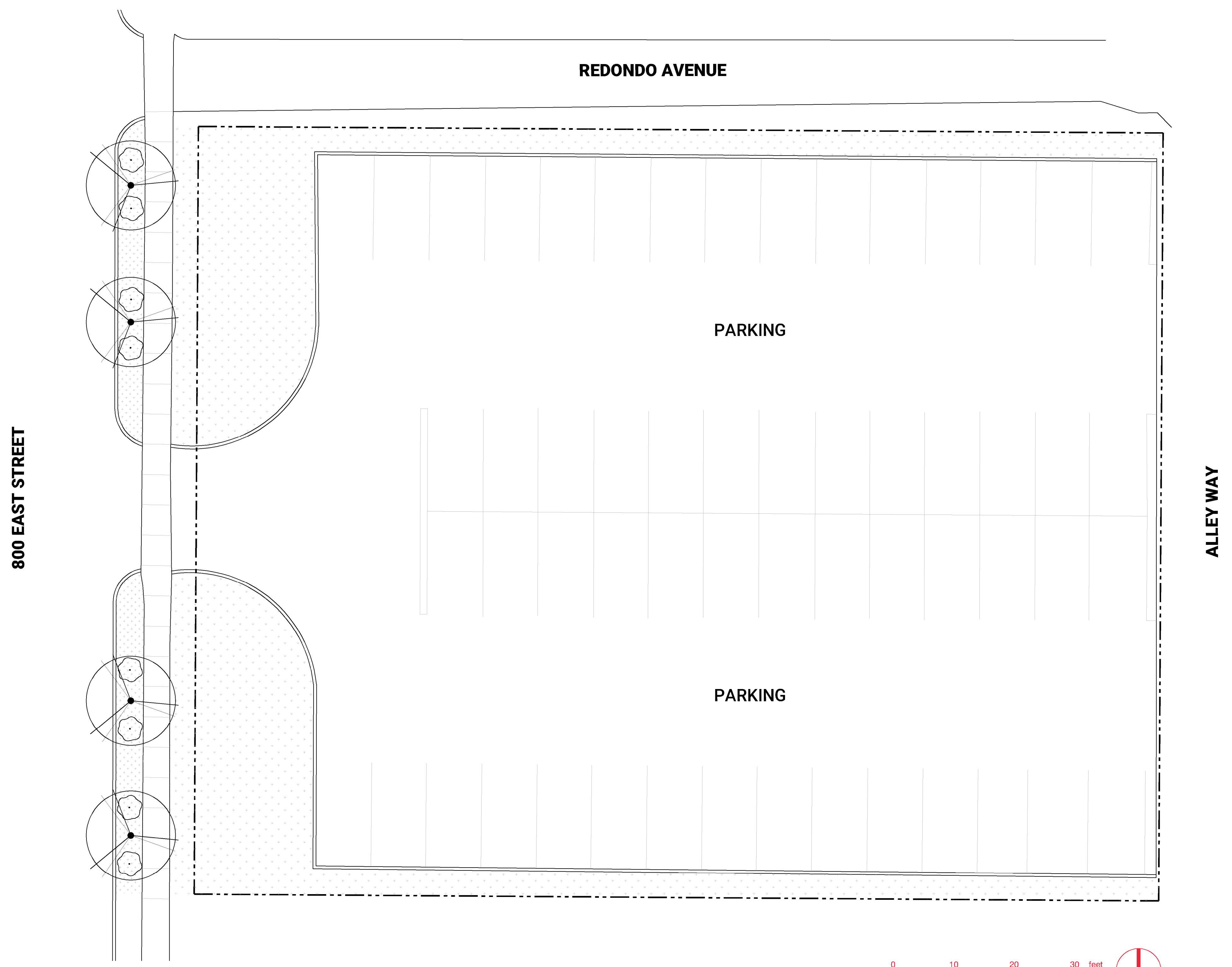
800 EAST 4 REQUIRED/4 PROVIDED

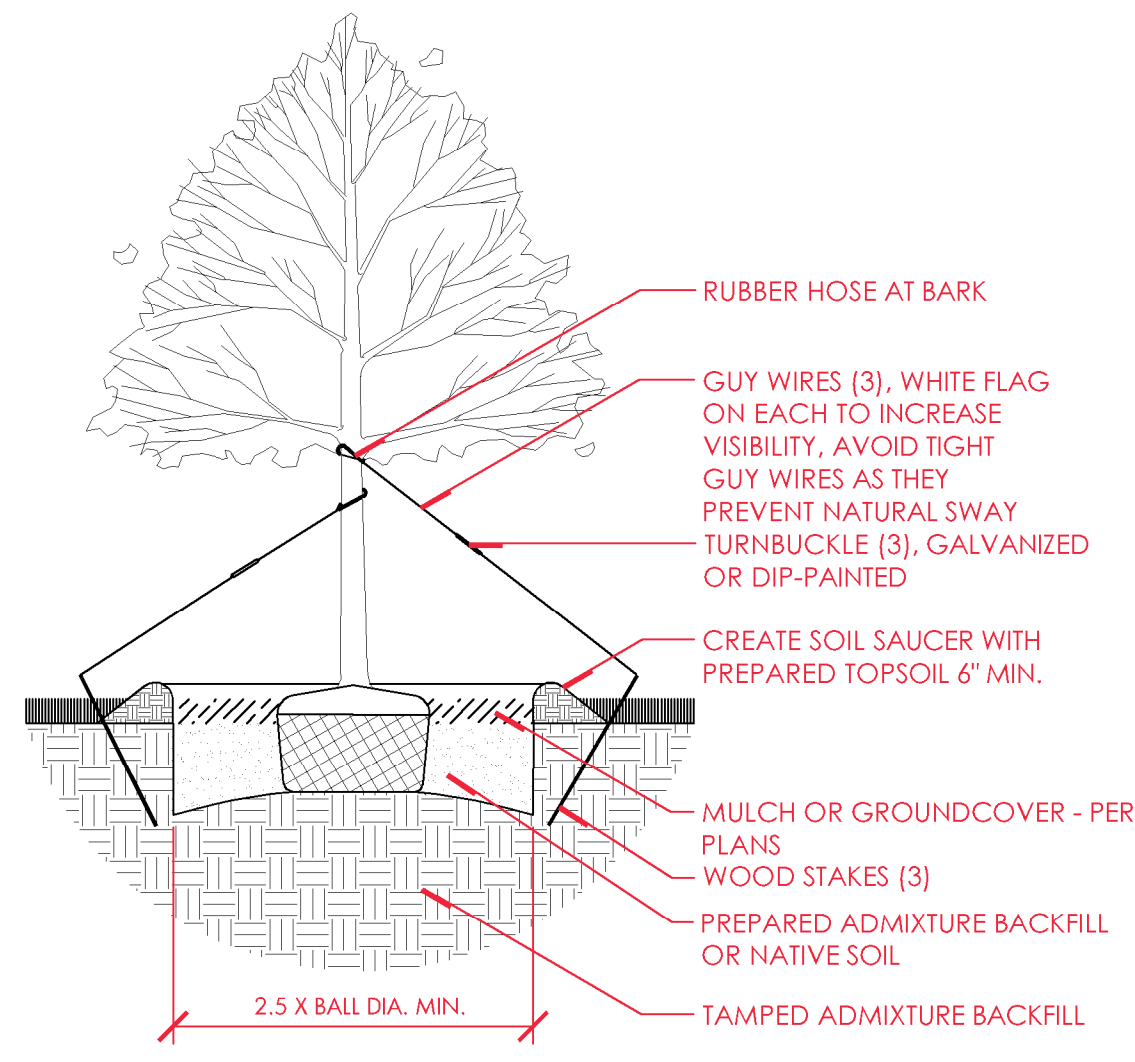
PARK STRIP LIVE VEGETATION:

800 EAST TOTAL PARK STRIP AREA 452 SQ. FT. OF TOTAL PARK STRIP

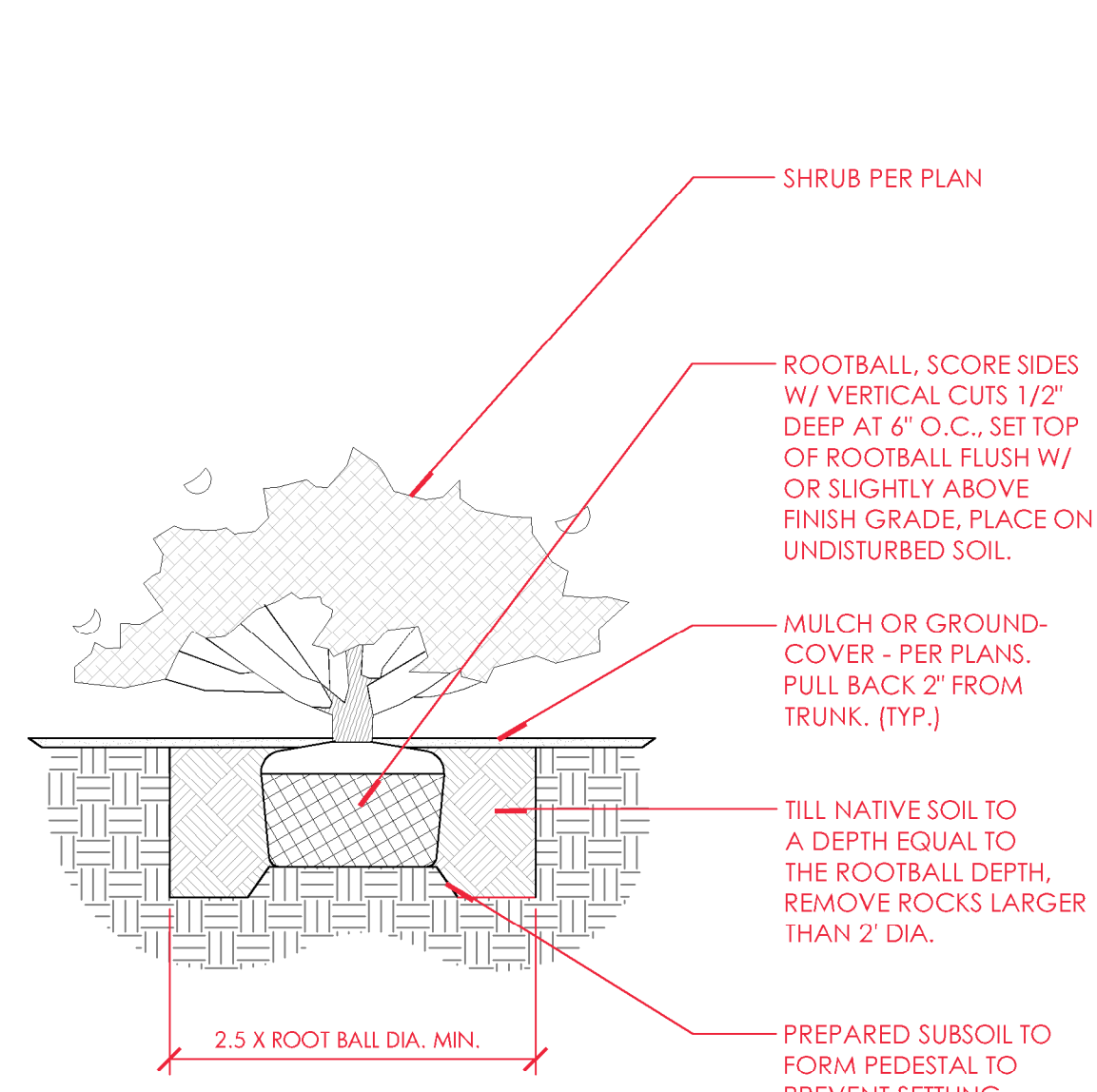
800 EAST LIVE VEGETATION LIVE VEGETATION SQ. FT. PROVIDED 204 / REQUIRED 33% / PROVIDED 45%

DROUGHT TOLERANT TREES AND SHRUBS(80% MINIMUM):
TREES: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE
SHRUBS: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

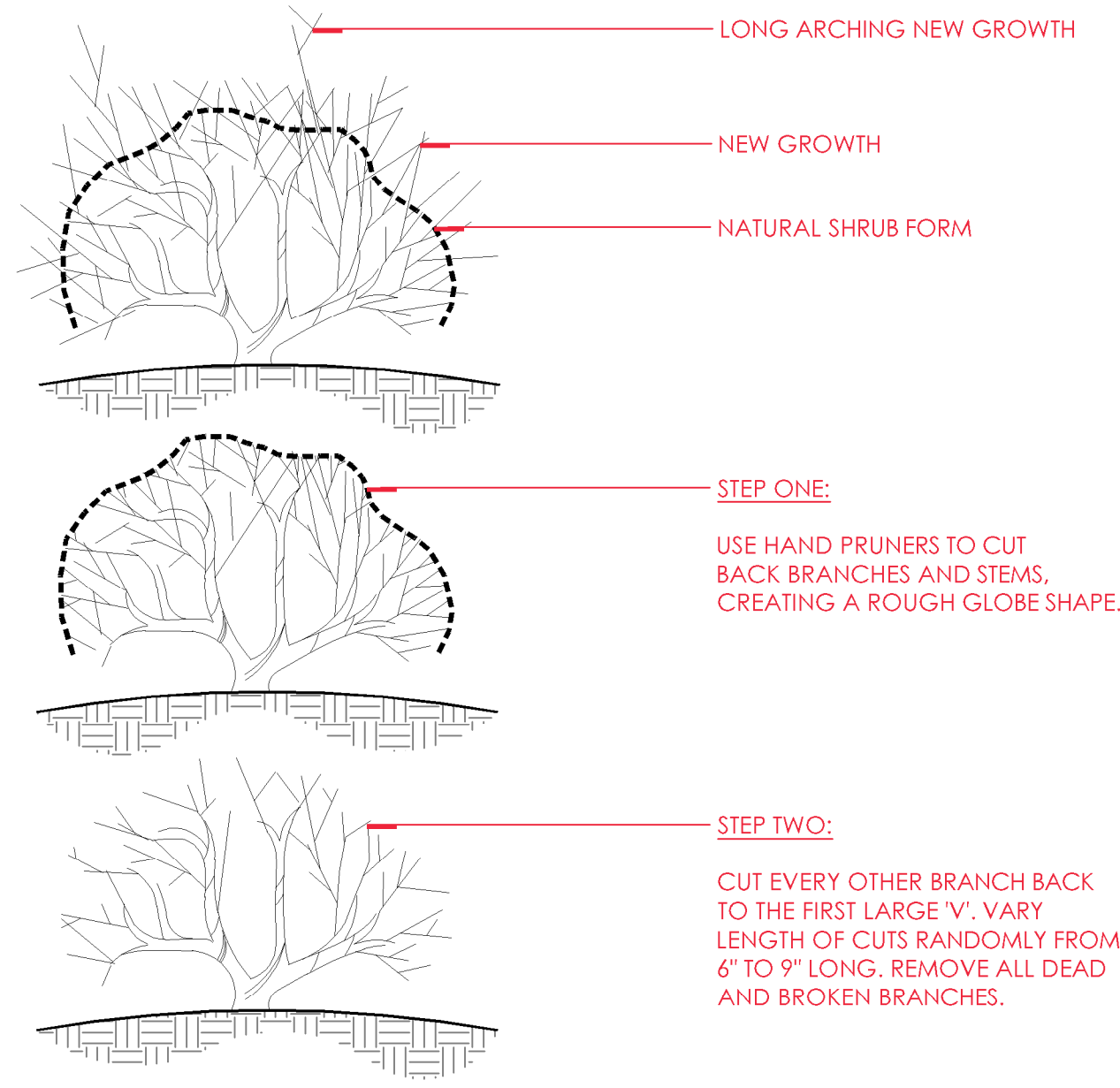




1 DECIDUOUS TREE PLANTING
1" = 1'-0" PROJ-IND-LUM-PLAN-25



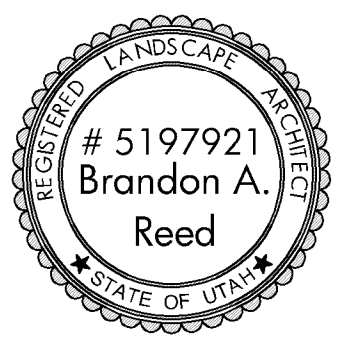
2 SHRUB PLANTING AND PRUNING
1" = 1'-0" PROJ-IND-LUM-PLAN-13



3 GRASS PLANTING AND PRUNING
1" = 1'-0"

DESIGNING OUTDOOR LIVING EXPERIENCES.
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PROFESSIONAL LANDSCAPE ARCHITECTURE SERVICES: ILLUSTRATIONS, ALL TECHNICAL DRAWINGS, GRADING, PLANTING AND LUMBER SPECIFICATIONS, TREE/SHRUB REMOVAL AND STAKING, SITE VISUALIZATION, SITE ANALYSIS, SITE LAYOUT, CONSTRUCTION AND MAINTENANCE OF THE WORK AND EXPENSES. THIS INFORMATION IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION IS AVAILABLE FOR LIMITED USE ONLY AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, AND BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT LIMITATION, THE INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSES.

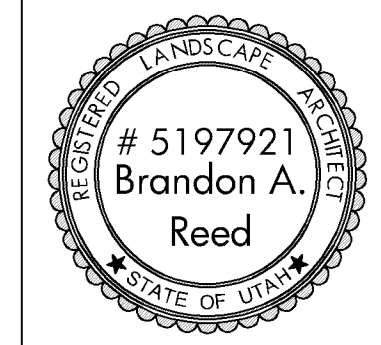


LUMEN PARKING LOT
2005 S 800 E / SALT LAKE CITY / UT / 84105

DATE // 05.09.24
PROJECT NO. // 2411
DRAWN BY // NKJ
CHECKED BY // BAR

REVISIONS //

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TITLE // IRRIGATION PLAN

SHEET // **LI101**

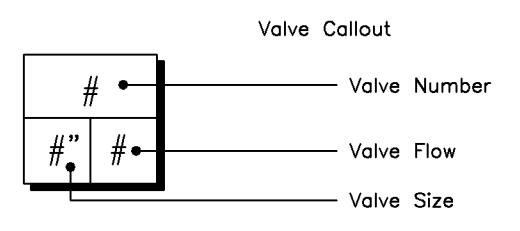
NOT FOR CONSTRUCTION

ALLEY WAY

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	HUNTER ICZ-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	1	
	AREA TO RECEIVE DRIPLINE HUNTER PLD-06-18 (18) IN-LINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH BUILT-IN CHECK VALVE. 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT.	232.6 S.F.	

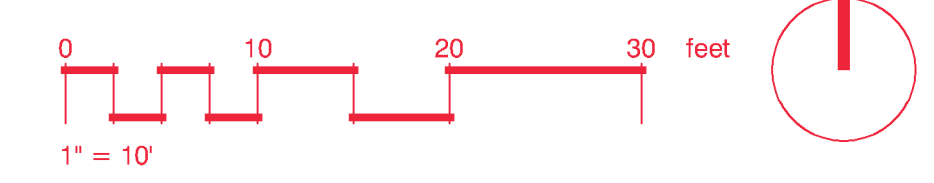
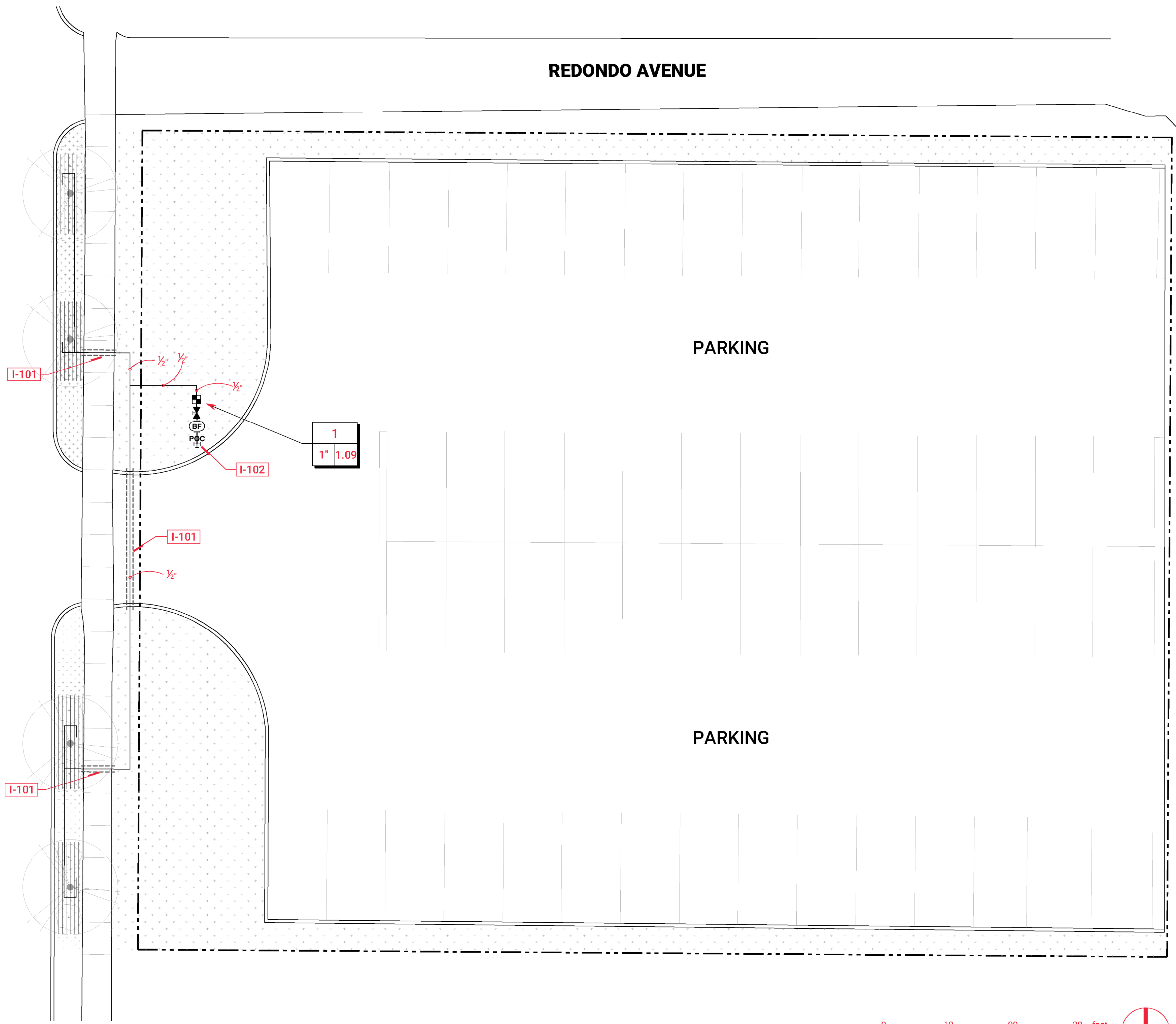
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE. 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.	1	
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER POINT OF CONNECTION 1/2"	1	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	165.5 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.	6.9 L.F.	
	PIPE SLEEVE: BLU-LOCK AND PVC CLASS 200	32.1 L.F.	

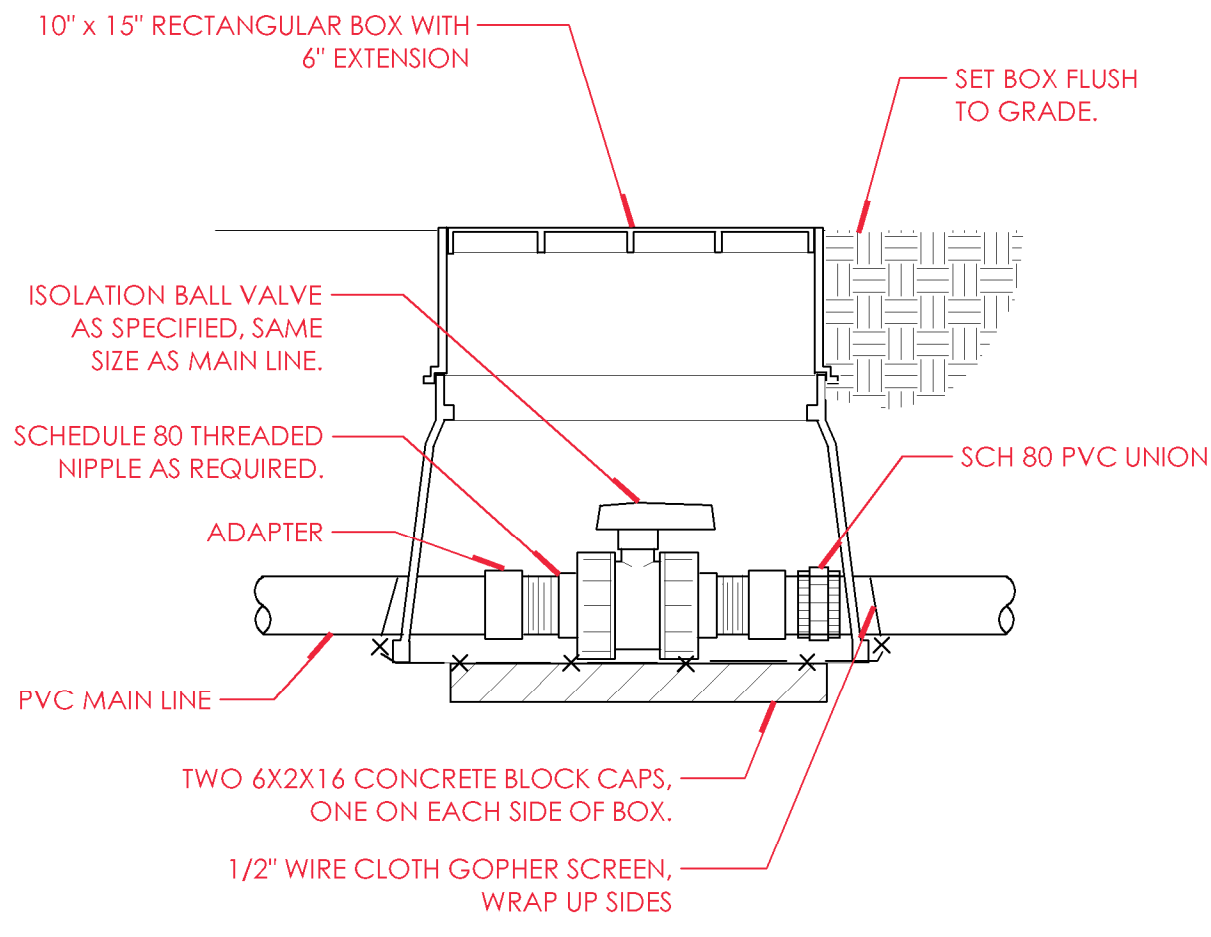


REFERENCE NOTES SCHEDULE

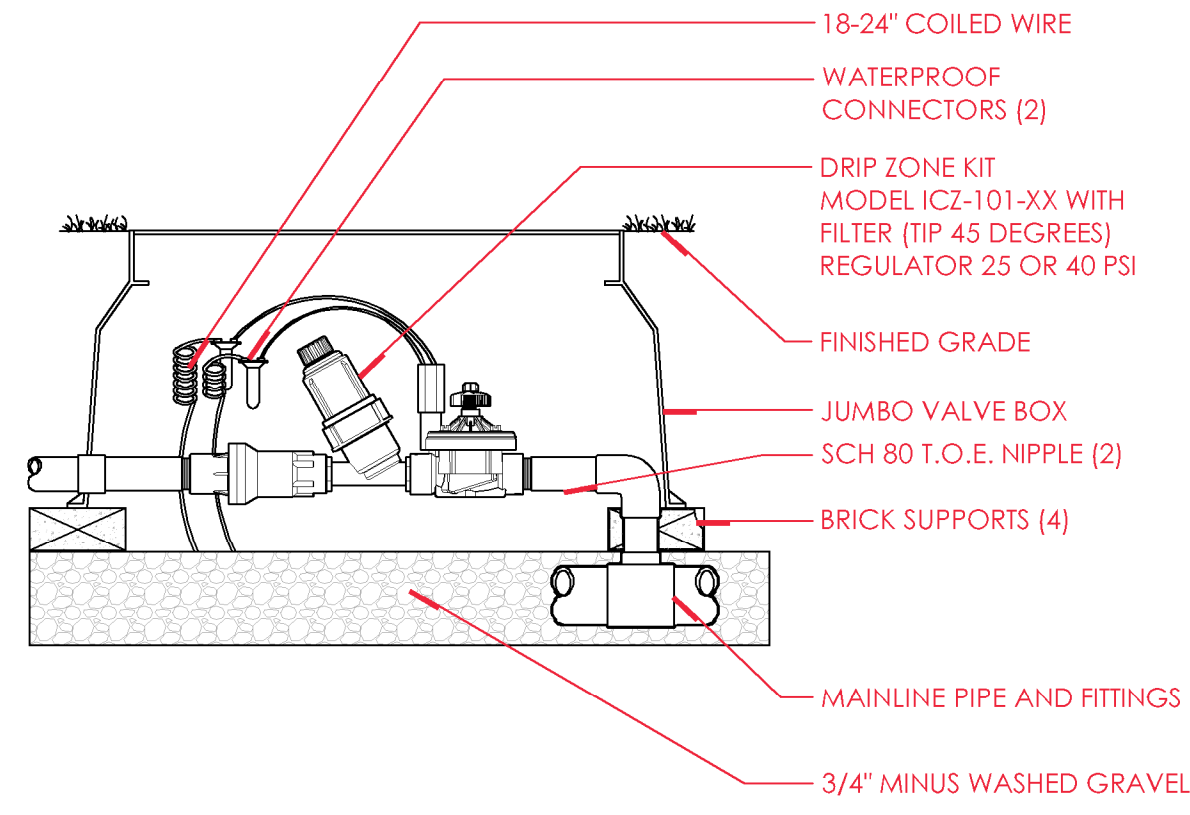
SYMBOL	IRRIGATION DESCRIPTION	QTY	DETAIL
I-101	ALL PIPES UNDER PAVEMENT SHALL BE SLEEVED. (TYP.)		
I-102	CONNECT SERVICE LINE TO EXISTING 1/2" POINT OF CONNECTION.		

800 EAST STREET



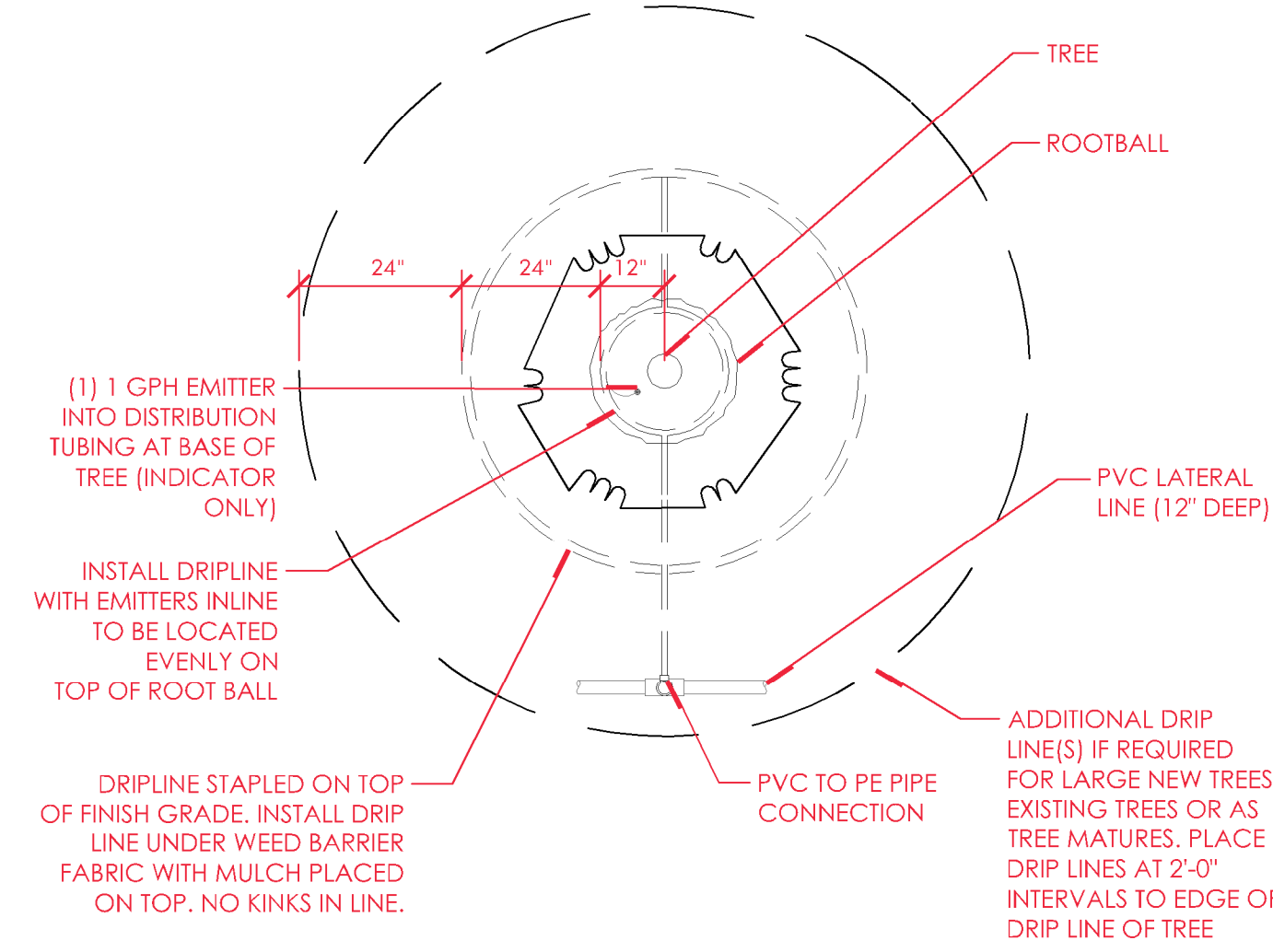


2 TRUE UNION BALL ISOLATION VALVE
1 1/2" = 1'-0"



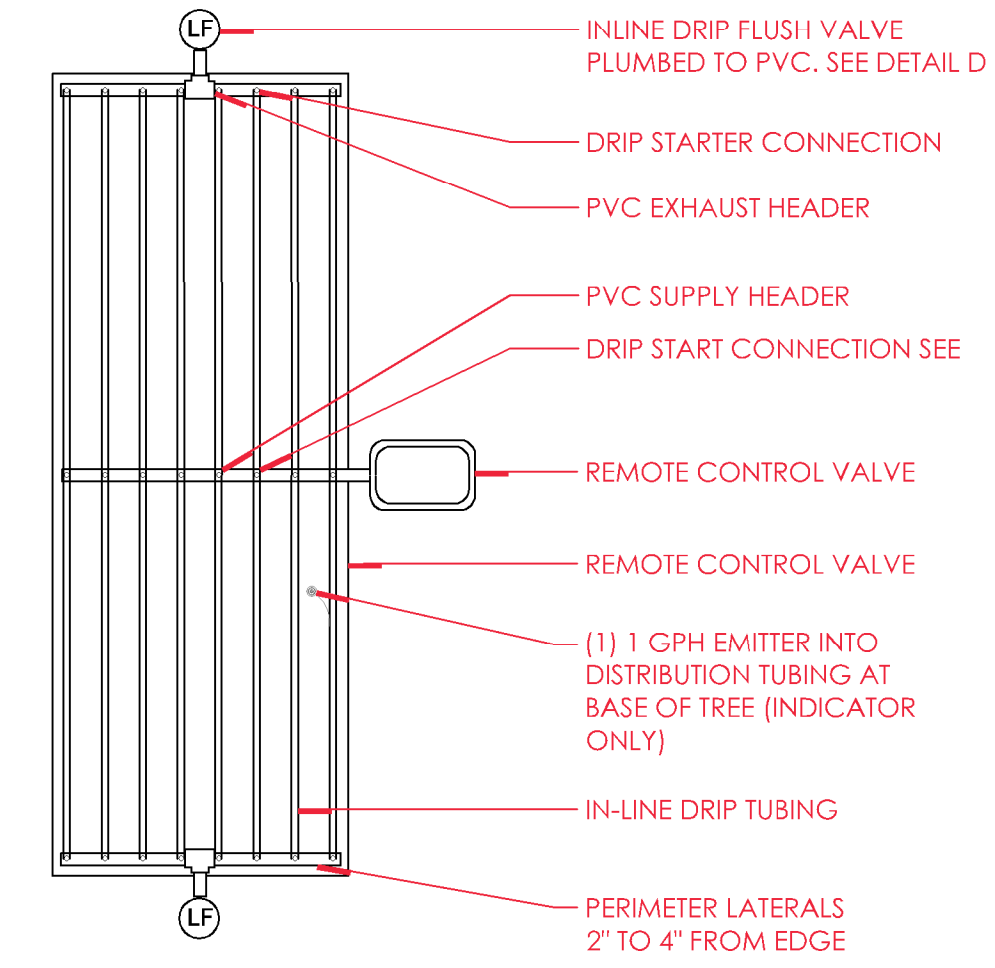
3 ICZ-101 DRIP CONTROL ZONE
1 1/2" = 1'-0"

NOTE: FOR EVERGREEN TREES, LOCATE INDICATOR EMMITTER ON OUTSIDE OF OUTER DRIP RING.)



4 TREE DRIP - PLAN VIEW
1" = 1'-0"

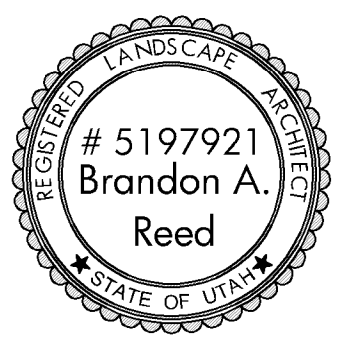
NOTE:
1. ALL PVC EXHAUST AND SUPPLY HEADERS TO BE BURIED TO 12\"/>



5 INLINE DRIP CENTER FEED LAYOUT
1 1/2" = 1'-0"

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REVISIONS	

NOT FOR CONSTRUCTION

SHEET //

TITLE //

IRRIGATION DETAILS

LI501